

# INSPECTION REPORT



Peace of Mind Home Inspections  
2017 county road 372  
New Bloomfield, MO 65063  
573 353 5550

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)  
[pomhomeinspection@gmail.com](mailto:pomhomeinspection@gmail.com)

The best home inspection experience available.

# SUMMARY

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

## REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

**Condition:** • [Too short or narrow](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Several locations

**Task:** Correct

**Condition:** • [No kickout flashing](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Several locations

**Task:** Provide kick out flashing

## Exterior

### ROOF DRAINAGE \ Gutters

**Condition:** • [Leak](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Back Yard

**Task:** Repair

## Electrical

### DISTRIBUTION SYSTEM \ Lights

**Condition:** • [Inoperative](#)

**Implication(s):** Inadequate lighting

**Location:** Basement stairway

**Task:** Repair or replace light bulb

## Plumbing

### FIXTURES AND FAUCETS \ Shower stall enclosure

**Condition:** • keeps the doors place.

**Implication(s):** Personal injury

**Location:** First Floor Half Bathroom

**Task:** Repair or replace

# SUMMARY

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Interior

### **BASEMENT \ Wet basement - evidence**

**Condition:** • [Water on floor](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Utility Room

**Task:** Further investigation needed/Repair

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

# ROOFING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

### Sloped roofing material:

- Composition shingles



Sloped roof flashing material: • Metal

## Limitations

Roof inspection limited/prevented by: • Wet roof surface hides flaws

## Recommendations

### SLOPED ROOF FLASHINGS \ Roof/sidewall flashings

1. Condition: • [Too short or narrow](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Several locations

Task: Correct

# ROOFING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

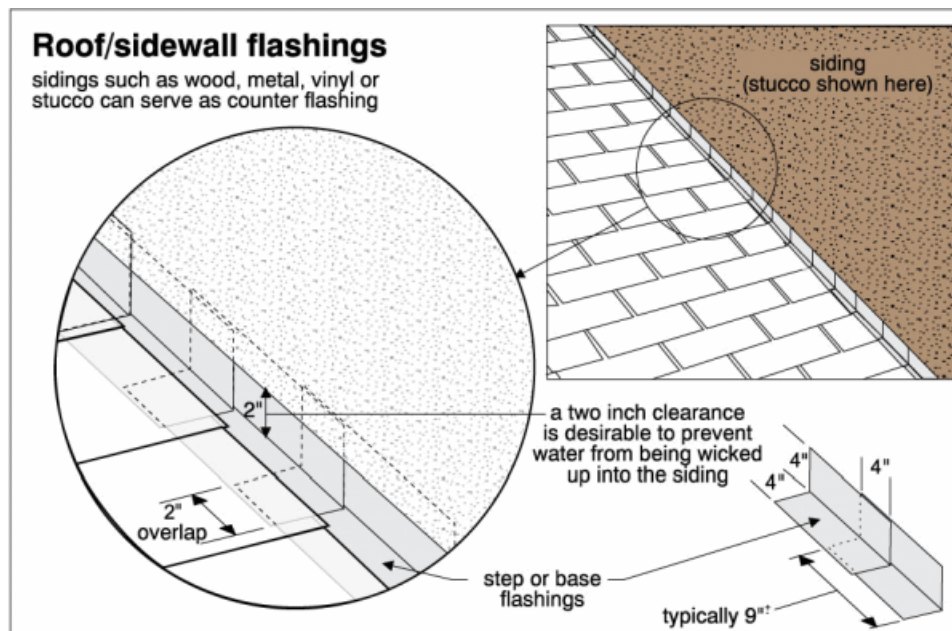
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

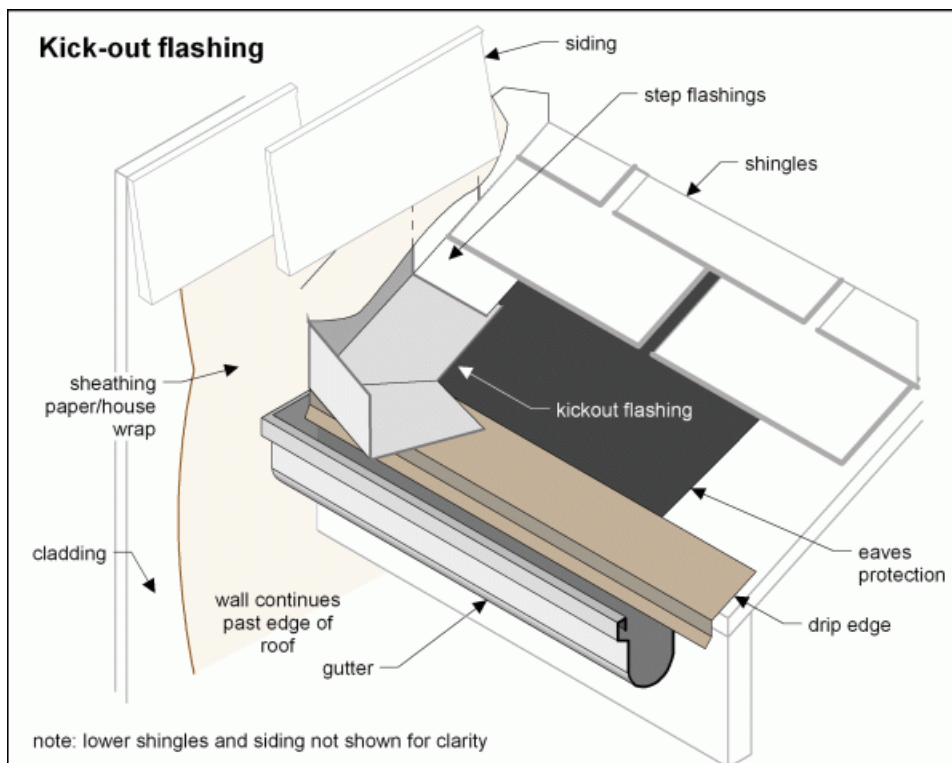


## 2. Condition: • [No kickout flashing](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Several locations

**Task:** Provide kick out flashing





# ROOFING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

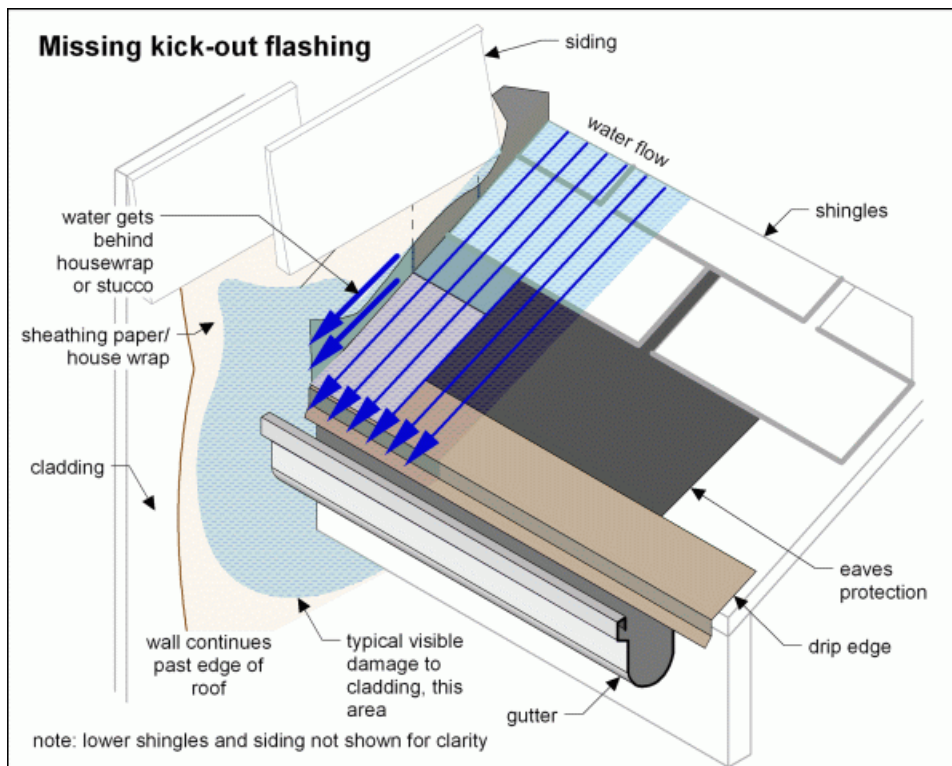
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

Gutter & downspout material: • [Aluminum](#)

Downspout discharge: • [Below grade](#)

Lot slope: • [Away from building](#)

Wall surfaces and trim: • [Vinyl siding](#)

Soffit and fascia: • [Metal](#)

Driveway: • Concrete

Walkway: • Concrete

Deck: • Raised

Porch: • Concrete

Exterior steps: • Wood

Patio: • Concrete

## Recommendations

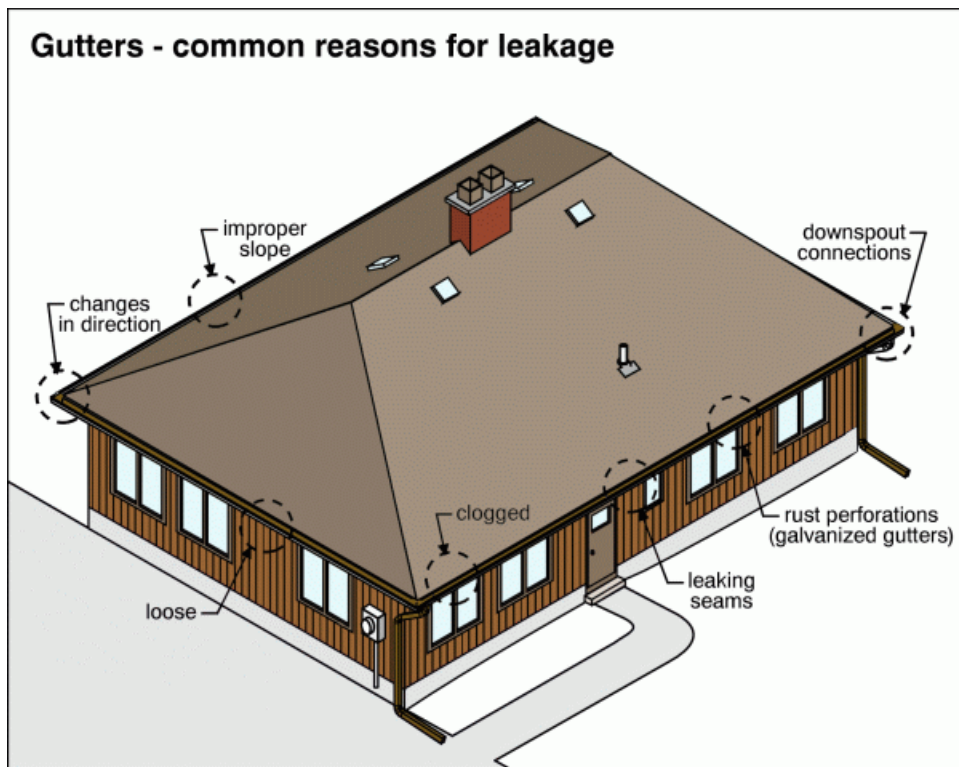
### ROOF DRAINAGE \ Gutters

3. Condition: • [Leak](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Back Yard

Task: Repair





# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



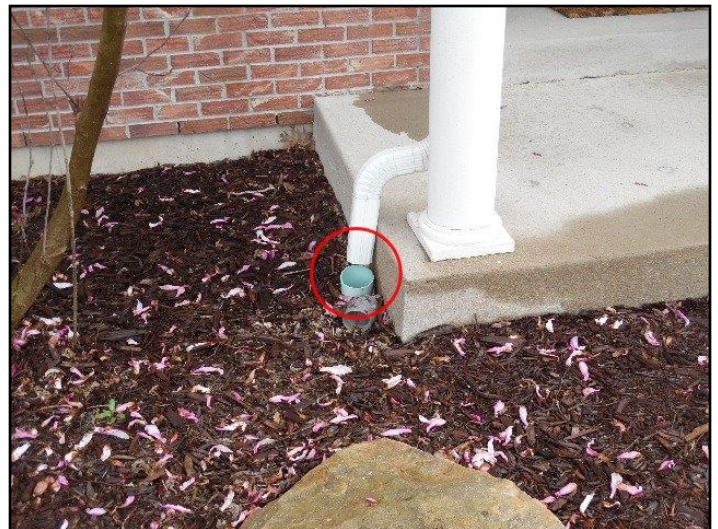
## ROOF DRAINAGE \ Downspouts

### 4. Condition: • Downspout out of position.

Implication: The downspout is not position over the underground pipe which would drop some of the roof water next to the foundation.

Task: Maintenance repairs are needed to restore the function of the downspout and thereby preventing possible wet basement problems and foundation settling. You should correct this immediately.

Location: Front Yard



## WALLS \ Vinyl siding

### 5. Condition: • Missing house wrap or building paper behind the vinyl siding was noted.

Implication: Omission of the house wrap or building paper not only leaves the OSB or the plywood unprotected, it also gives you no way to know if the builder installed flashing to protect the top and bottom edges of windows and doors. Water running down the sheathing can run behind the window flanges and into the framing cavity.

Task: It is not likely that the homeowner will install this wrap because all the siding would have to be removed and re-installed which would be at high expense, therefore at this time we would recommend that you monitor the siding for any future cracks, holes or openings. If this occurs then you would want to replace the damaged piece immediately due to no house wrap.



# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

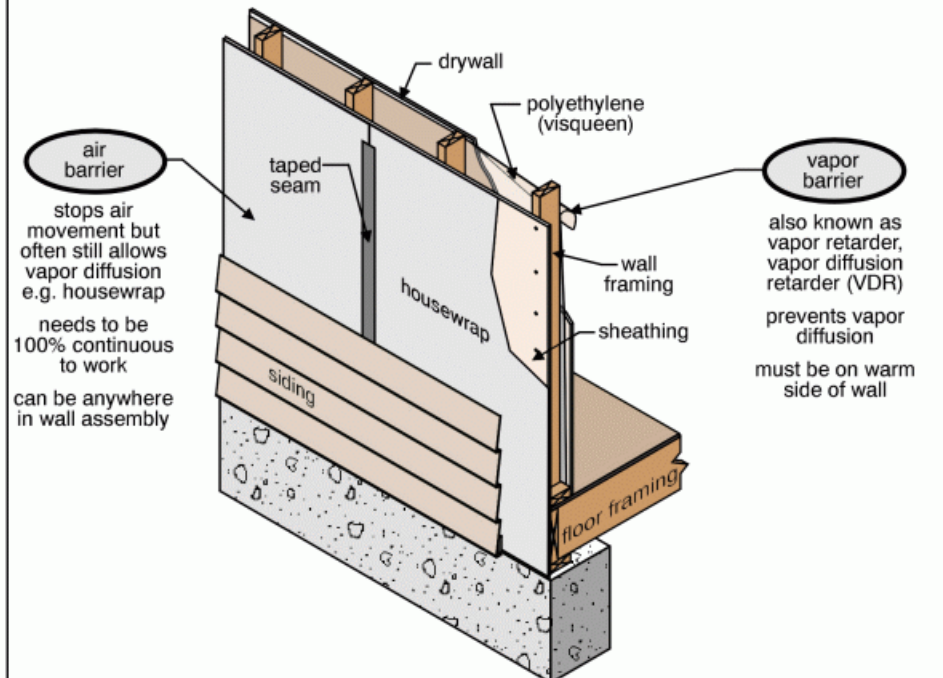
INSULATION

PLUMBING

INTERIOR

REFERENCE

## Air barrier versus vapor barrier



### 6. Condition: • [J-Channel lacks a half inch clearance to roof line.](#)

Implication: When the J-Channel is directly on the roof line, it can build up an excessive amount of heat. This heat may cause the J-Channel to expand excessively which can cause deformity on the J-Channel and can cause the horizontal siding to buckle.

Task: You could ask a siding contractor to make the repairs now or monitor this area of concern and make repairs on your next re-roofing job if needed. Click on the hyperlink above and go to page 26 of the vinyl installation manual.

Location: Several locations



### 7. Condition: • [Mechanical damage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Back Yard

Task: Repair or replace damage areas only.

# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



## **PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Columns**

### **8. Condition:** • [Upper post nailed or screwed to the deck only.](#)

Implication: These types of connections are very common but these do not make the best type of connections to the upper deck.

Task: Install for example lags bolts or lag screws or machine bolts with washers and knots.

### **9. Condition:** • The support posts for the wood deck are buried inside the concrete footings.

Implication: In my opinion, this is a poor practice because as the wood shrinks, gaps are created between the sides of the posts and the concrete which could allow water infiltration. Water trapped within the footings may be subjected to frost heave causing the footings to crack. The bottom of the wood posts may decay as well.

Task: I advise that you hire a carpenter to re-install the posts on metal post brackets that are anchored to the footings.





# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## 10. Condition: • [Cracked](#)

**Implication(s):** Weakened structure | Chance of movement

**Location:** Several columns on back yard devk

**Task:** Seal or caulk these areas



## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Floors

### 11. Condition: • Nail pops was noted on several floorboards.d

**Implication(s):** Personal injury

**Task:** Repair

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Steps and landings

### 12. Condition: • Nail pops where noted on several backyard steps.

**Implication(s):** Personal injury.

**Task:** Repair

### 13. Condition: • A staircase has open risers.

**Implication:** SAFETY WARNING - Be advised that open risers can cause a tripping accident and personal injury.

**Task:** I advise that you hire a carpenter to close the risers or alter the staircase as needed to improve its safety.



### 14. Condition: • Stair stringers are toe nailed.

**Implication:** This type of attachment is no longer acceptable since 2003. These stringers could pull away which could cause the steps to collapse.

**Task:** Installed hangers or any acceptable hardware on these stringers in order to comply with todays deck standards.

# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Handrails and guards

**15. Condition:** • A grip-able handrail is missing at deck steps.

**Implication:** Without a grip-able hand rail on the steps to grip to when there is ice, snow or wet could cause personal injury form a fall.

**Task:** I recommend that this be installed for personal safety.



**16. Condition:** • Spindles nailed on.

**Implication(s):** Nailed spindles tend to pull away.

**Task:** Improve/Use exterior screws

**17. Condition:** • [Loose](#)

**Implication(s):** Fall hazard

**Task:** Repair

## PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Patios

**18. Condition:** • Previous repairs was noted on the front yard concrete porch.

**Location:** Front Yard

**Task:** Further investigation needed



# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



**19. Condition:** • Small hairline cracks.

Implication: Rain water that seeps into these cracks could cause settling, heaving and cracking in the winter due to water expanding which causes cracks on the concrete pour.

Task: I advise the application of crack filling or other suitable product be used to seal these cracks.



**20. Condition:** • The Patio expansion joints are not sealed with suitable materials to shed water.

Implication: Water will infiltrate the expansion joints and cause cracks due to expansion of the water inside the joints.

Task: Caulk is advised.

**21. Condition:** • Small hairline cracks on porch.

Implication: Rain water that seeps into these cracks could cause settling, heaving and cracking in the winter due to water expanding which causes cracks on the concrete pour.

Task: I advise the application of crack filling or other suitable product be used to seal these cracks.

**Location:** Front Yard

## **LANDSCAPING \ Lot grading**

**22. Condition:** • Tree branches overhang over roof

Implication: Damage to roof and building.

# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Task: Trim branches away from the house and roof.

Location: Front Yard

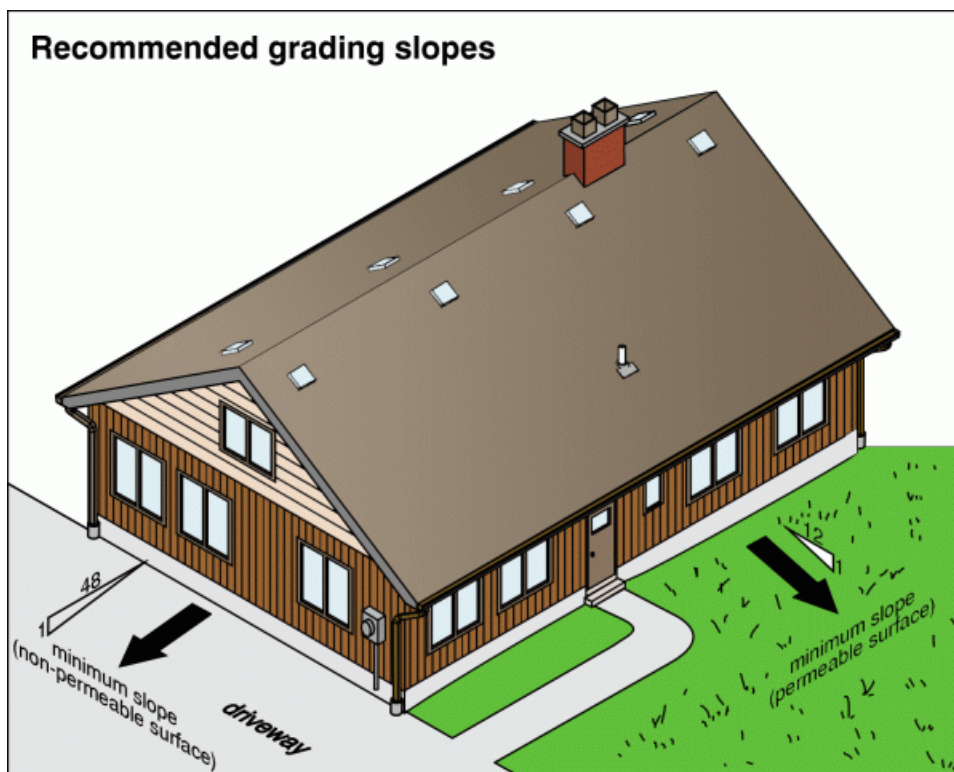


23. Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front Yard

Task: Correct



# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



## LANDSCAPING \ Driveway

**24. Condition:** • It appears that the driveway has had some repairs done in the past

**Implication(s):** the driveway may have settled in the past and there is some repairs that were made.

**Task:** inquire who did the repairs and if there is a warranty that can be transferred.



**25. Condition:** • Expansion joints not sealed.

**Implication:** Water will infiltrate the expansion joints and cause cracks due to expansion of the water inside the control joints.

**Task:** Caulk is advised.





# EXTERIOR

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## LANDSCAPING \ Walkway

**26. Condition:** • The concrete walkway expansion joints are not sealed with suitable materials to shed water.

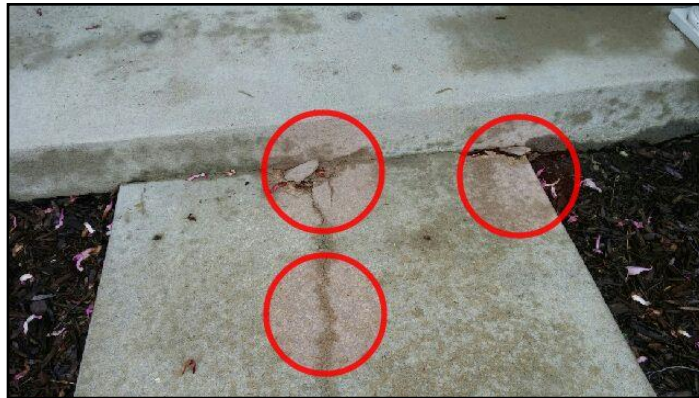
Implication: Water will infiltrate the expansion joints and cause cracks due to expansion of the water inside the control joints.

Task: Caulk is advised.

**27. Condition:** • [Cracked or damaged surfaces](#)

Implication(s): Trip or fall hazard

Task: Repair



## GARAGE \ Floor

**28. Condition:** • Fracture noted on edge of garage floor.

Implication: This type of fracture on edges of garage floor is common but if not repaired it could continue to fracture which can be very displeasing.

Task: We recommend that this area be sealed with a cement product to prevent further fracturing.





## Description

**Configuration:** • [Basement](#)

**Foundation material:** • [Poured concrete](#)

**Floor construction:** • [Joists](#)

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • [Rafters/roof joists](#) • [OSB \(Oriented Strand Board\) sheathing](#)

## Recommendations

### FOUNDATIONS \ Foundation

**29. Condition:** • Metal snap ties were not sealed.

Implication: While this condition in no way affects the function of the foundation, the exposed metal can rust thus causing hairline cracks which can allow water infiltration into the cracks and as this water or moisture expands in the winter it can expand the cracks as well. A rusted tie will also stain the wall.

Task: I recommend that all exposed snap ties be sealed to prevent any problems in the future. These can be sealed with hydraulic cement to retard water infiltration.

**Location:** Throughout



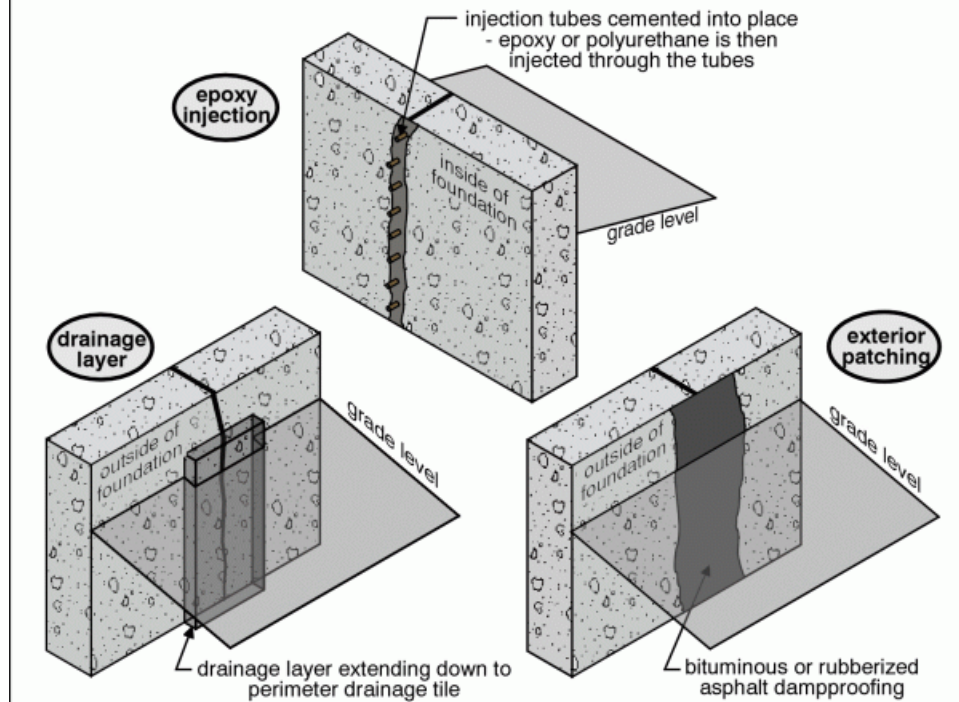
**30. Condition:** • Inspection of the foundation above grade level revealed thin hairline vertical shrinkage type cracks.

Implication: Such cracks are common with concrete or block foundations and generally pose no major problem in terms of reduction in load bearing capacity. The introduction of excessive water during the mixing or pouring of the concrete causes the shrinkage cracks. Shrinkage cracks should be sealed to prevent water infiltration, radon, gas entry and possible wood boring insect access.

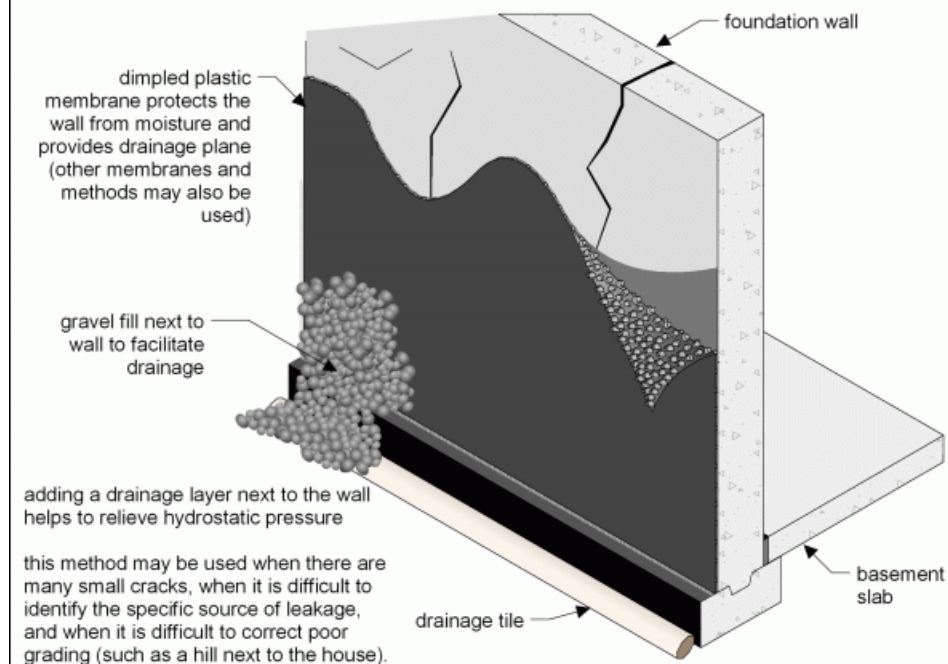
Task: Professional epoxy injection service companies can be hired to repair foundation cracks with a long lasting sealant, or you can seal the cracks yourself with a hydraulic cement product or suitable caulk. Once repaired, the cracks should be monitored for unpredictable future movement.

**Location:** Left Side

## Patching cracks



## Crack repair - drainage layer



# STRUCTURE

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



## FLOORS \ Columns or piers

**31. Condition:** • Gaps visible.

**Implication(s):** Rain water entering this gaps can cause water or rot to the bottom of the columns.

**Location:** Front Yard

**Task:** Seal or caulk these areas



## FLOORS \ Concrete slabs

**32. Condition:** • Hairline cracks on basement floor was noted.

**Implication:** In my opinion, the cracks appear to be shrinkage type cracks caused by excessive water during the pouring of the concrete. Such cracks are common with concrete foundations and generally pose no major problem in terms of reduction in load bearing capacity.

**Task:** Hairline shrinkage cracks should be sealed to prevent water infiltration, radon gas entry and possible wood boring insect access. Professional epoxy injection service companies can be hired to repair foundation cracks with a long lasting sealant, or you can seal the cracks yourself with a hydraulic cement product or suitable caulk. Once repaired, the cracks should be monitored for unpredictable future movement.



## Description

Service entrance cable and location: • [Underground copper](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - garage](#)

Number of circuits installed: • 24

System grounding material and type: • [Copper - ground rods](#)

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • None

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • None noted

## Recommendations

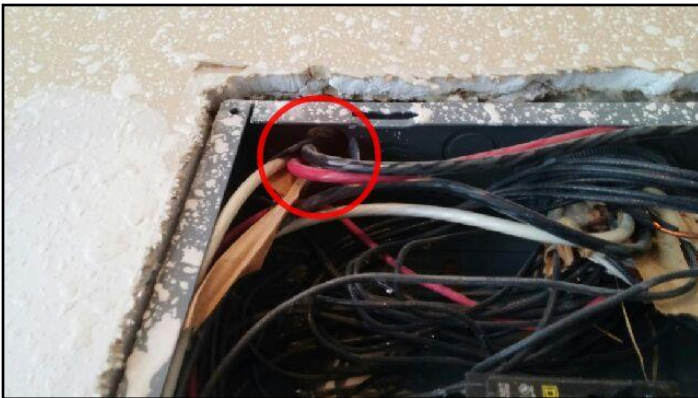
### SERVICE BOX, GROUNDING AND PANEL \ Service box - fuse, breaker, wire

**33. Condition:** • Romex connectors missing.

Implication: WARNING - Romex connectors are required to secure the wires and to prevent chaffing against the sharp edges of the metal hole in the panel. Be advised that this omission could cause pose a fire or shock hazard.

Task: Hire an electrician to open the drywall beneath the main panel and to install the romex connectors where missing.

**Location:** Garage



### DISTRIBUTION SYSTEM \ Lights

**34. Condition:** • [Inoperative](#)

This light fixture was never wired to a fixture.

**Implication(s):** Inadequate lighting

**Location:** Attic

**Task:** Install this light fixture to provide light in the attic.





**35. Condition:** • [Inoperative](#)

**Implication(s):** Inadequate lighting

**Location:** Basement stairway

**Task:** Repair or replace light bulb

#### **DISTRIBUTION SYSTEM \ Smoke detectors**

**36. Condition:** • Ionization type smoke detectors present.

**Implication:** Ionization smoke detectors are more responsive to flaming fires and not to smoldering fires.

**Task:** For best protection use both types of smoke detectors instead of just one or the other. Some detectors combine both technologies in one unit.

#### **DISTRIBUTION SYSTEM \ Carbon monoxide (CO) detectors**

**37. Condition:** • None

**Implication(s):** Health hazard

**Task:** Provide

**Time:** Immediate

# HEATING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Furnace manufacturer:**

• Carrier

*Model number:* 58PAV111-18120 *Serial number:* 3001A66401

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [110,000 BTU/hr](#)

**Efficiency:** • [Mid-efficiency](#)

**Exhaust venting method:** • [Induced draft](#)

**Approximate age:** • [16 years](#)

**Typical life expectancy:** • Furnace (conventional or mid-efficiency) 18 to 25 years

**Main fuel shut off at:** • Exterior wall

**Failure probability:** • [Medium](#)

**Exhaust pipe (vent connector):** • Double wall

**Fireplace/stove:** • [Gas fireplace](#)

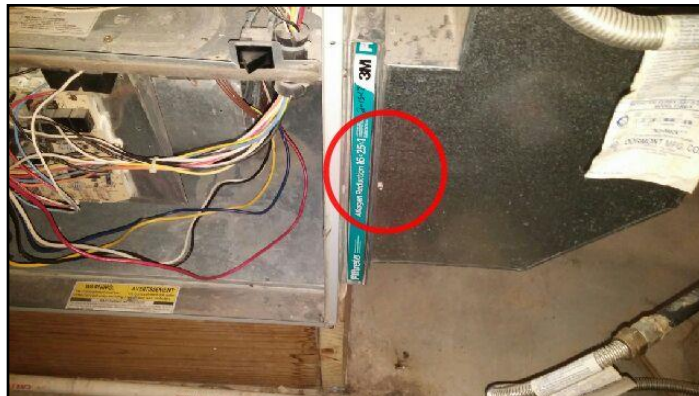
## Recommendations

### GAS FURNACE \ Mechanical air filter

**38. Condition:** • The cover is missing for the air filter.

**Implication:** This should be installed due to the fact the dust could be getting inside the blower and motor units thus reducing the furnace efficiency.

**Task:** Install a cover over the air filter opening.



### FIREPLACE \ Gas fireplace

**39. Condition:** • [Unvented](#)

At time of the inspection I was not able to lid the gas fireplace.

**Implication(s):** Hazardous combustion products entering home

# HEATING

4706 Hockaday Place, Columbia, MO    March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Location:** First Floor

**Task:** Further evaluation by a HVAC contractor

# COOLING & HEAT PUMP

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Air conditioning type:** • [Air cooled](#)

**Manufacturer:**

• Bryant

*Model number:* 116BNA048-B *Serial number:* 3016E12767

**Cooling capacity:** • 48,000 BTU/hr

**Compressor type:** • Electric

**Compressor approximate age:** • 1 year

**Typical life expectancy:** • 12 to 15 years

## Limitations

**Inspection limited/prevented by:** • AIR CONDITIONING NOT TESTED - At the time of inspection, the central air conditioning system was visually examined but was NOT operationally tested due to the low outside temperature.

Implication: Due to the low temperature, the true functional condition of the AC system is undetermined. When the outside temperature is less than 65 degrees F., the compressor unit may be damaged if operated.

Task: For your protection, I advise that you discuss the shutdown condition of this appliance with your Realtor and the seller prior to purchase and that the system be operationally tested when seasonal temperatures permit. Ask if the seller will provide you with a written guarantee of the AC system operational integrity.



# INSULATION AND VENTILATION

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Attic/roof insulation material:** • Insul-safe

**Attic/roof ventilation:** • [Roof and soffit vents](#) • [Gable vent](#)

**Attic/roof air/vapor barrier:** • [Not visible](#)

## Recommendations

### ATTIC/ROOF \ Hatch

**40. Condition:** • Hatch to small

**Implication:** The attics of modern homes with more than 30 inches clear headroom are required to have an attic hatch measuring a minimum of 22 inches x 30 inches. I could not enter nor fully view the attic due to the small size of the hatch. Inspection was limited to the hatch area only - hidden problems may exist within the attic.

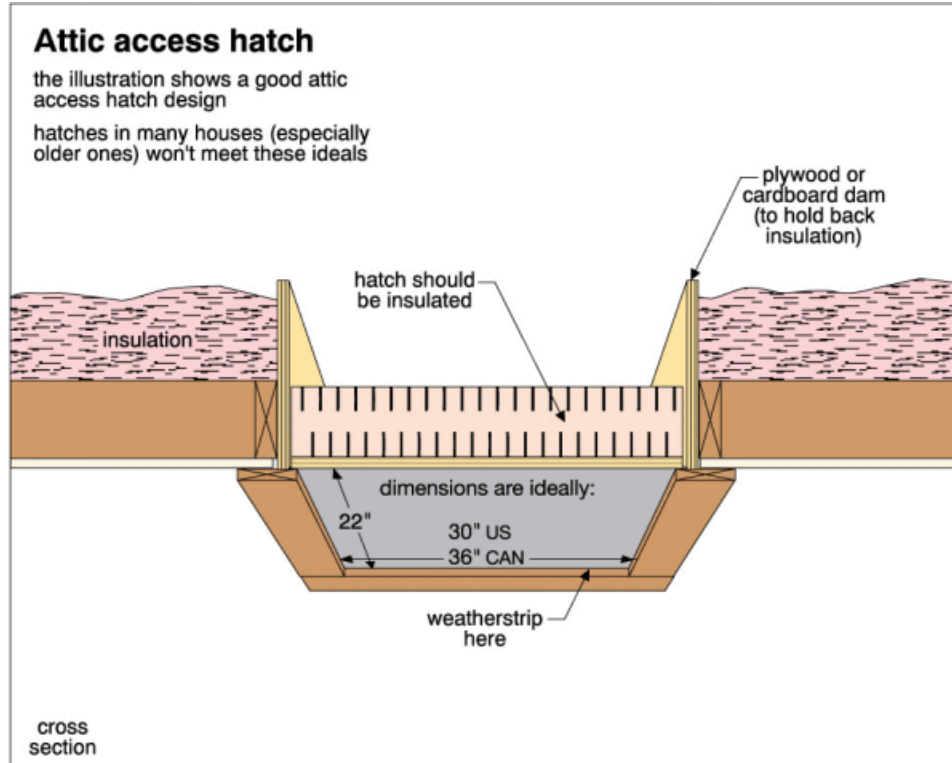
**Task:** In my opinion, you would be wise to hire a carpenter to inexpensively install a larger hatch or pull-down stairs for complete evaluation of the attic.

**41. Condition:** • [Not insulated and not weatherstripped](#)

**Implication(s):** Chance of condensation damage to finishes and/or structure | Increased heating and cooling costs | Reduced comfort

**Location:** First Floor Master Bathroom

**Task:** Provide



# PLUMBING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • Front of the basement

**Water heater type:** • [Conventional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater exhaust venting method:** • Natural draft

**Water heater manufacturer:**

• A.O. Smith

*Model number:* FSG 50 248 *Serial number:* MJ01-1191283-248

**Tank capacity:** • 50 gallons

**Water heater approximate age:** • 15 years

**Typical life expectancy:** • 8 to 12 years

**Water heater failure probability:** • [High](#)

**Waste disposal system:** • [Public](#)

**Waste and vent piping in building:** • [Plastic](#)

**Floor drain location:** • Near heating system

**Gas piping:** • Steel • CSST (Corrugated Stainless Steel Tubing)

**Backwater valve:**

• Not present

# PLUMBING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

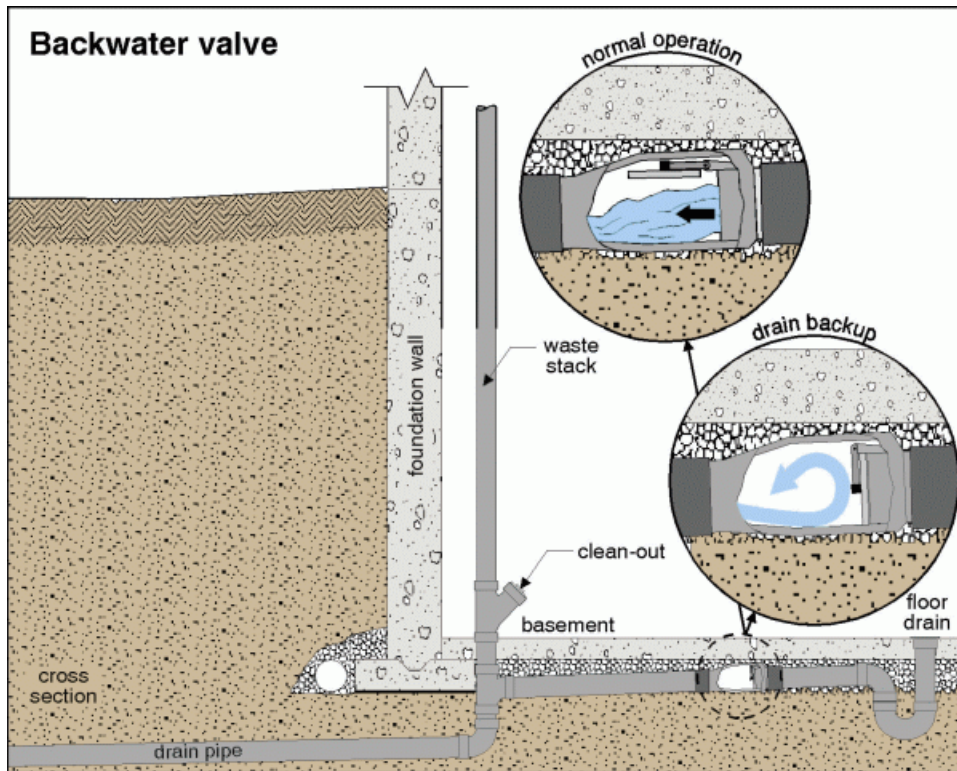
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



Exterior hose bibb: • Present

## Recommendations

### SUPPLY PLUMBING \ Supply piping in building

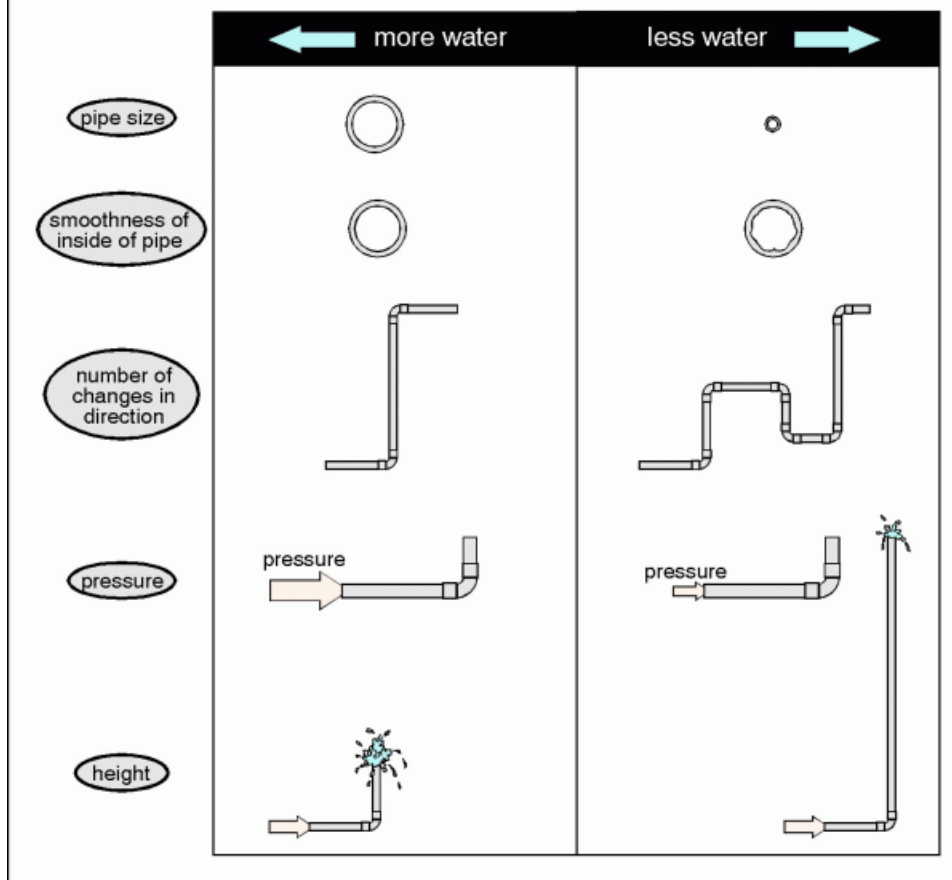
42. Condition: • [Poor pressure or flow](#)

Implication(s): Reduced water pressure and volume

Location: Right

Task: Improve

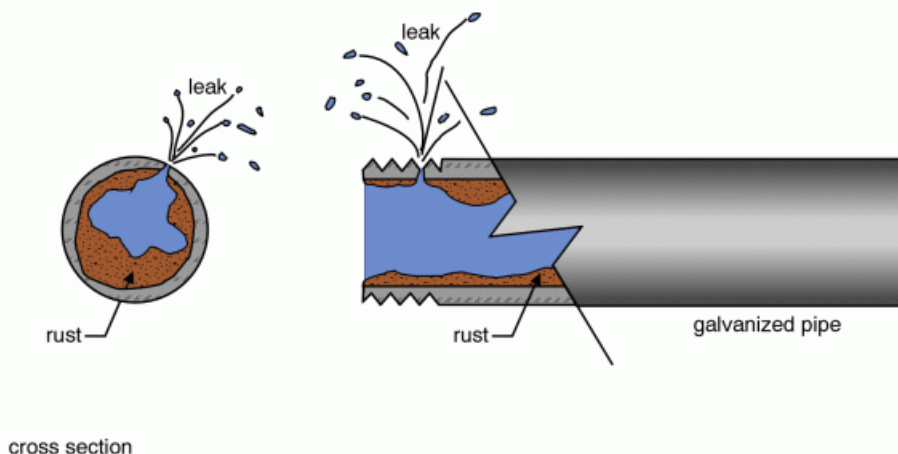
## Factors affecting supply of water



## Galvanized steel pipe

rusting of galvanized pipe can greatly reduce water pressure and will eventually cause leaks as rust creates holes in the pipe walls

problems are likely to occur soonest on pipes carrying hot water, horizontal pipes and at threaded (thinner) sections





## WATER HEATER \ Tank

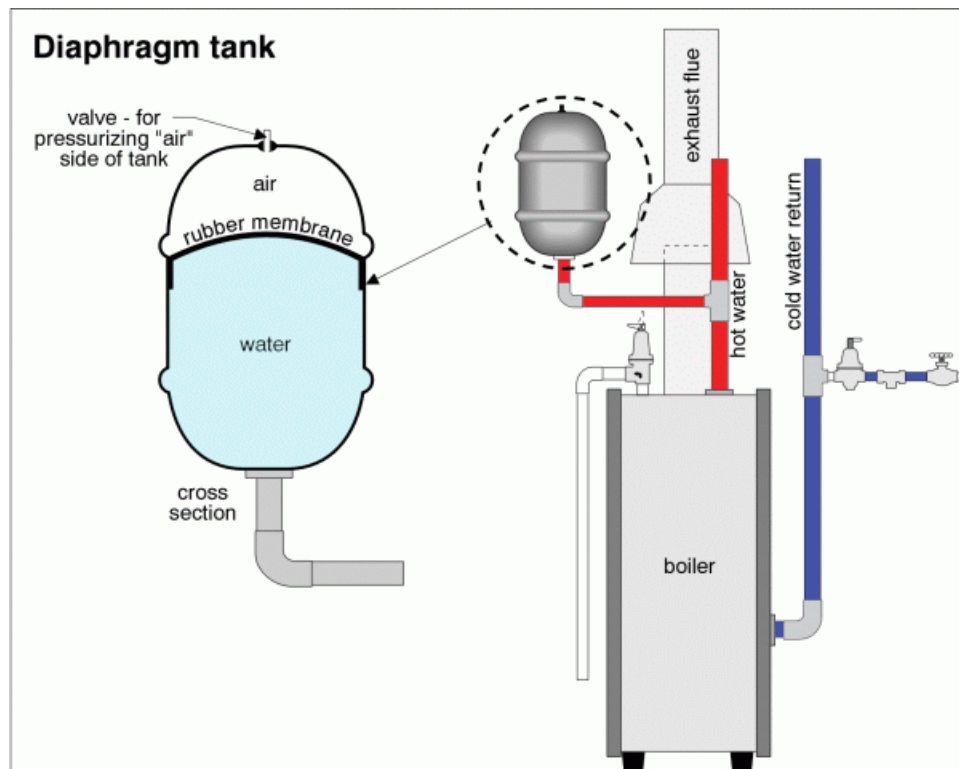
**43. Condition:** • Virtually every modern plumbing code requires the installation of an expansion tank on water heater installations whether gas or electric. The reason is simple. Water expands when heated. This extra volume of water needs to go somewhere. Before the widespread usage of backflow preventers, check valves and pressure reducing valves, this expanded water simply pushed the cold water back into the city water main, and since you have one or more of these devices you could have problems. These devices prohibit the flow of water from your house back into the public water system.

Without an expansion tank, the expanding water can cause your water heater to possibly fail because of the increased pressure. This pressure can cause serious life threatening problems as well, if you heat your water with natural gas or propane. The water heater tank can collapse around the internal flue and cause carbon monoxide to enter your home. It is serious business.

Expansion tanks are really simple devices. They contain compressed air and a special rubber bladder. When your water heater turns on, the water within your piping system begins to expand. This expanding water enters the expansion tank. Eventually, hot water is drawn from the system thru a faucet and the expansion tank releases the extra water into the piping system.

Expansion tanks come in various sizes. The size you need depends upon two very important variables. You need to know the capacity in gallons of your hot water heater and the water pressure of your house piping system. The capacity of your water heater is stamped on a label or a plate on the side of your water heater.

Recommendation: When this water heater was installed years ago it was not a requirement but now it is. Therefore we recommend that you install an expansion tank on this unit the next time you hire a plumber to do any other work to this house.





**44. Condition:** • Safety pan and drain missing

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Utility Room

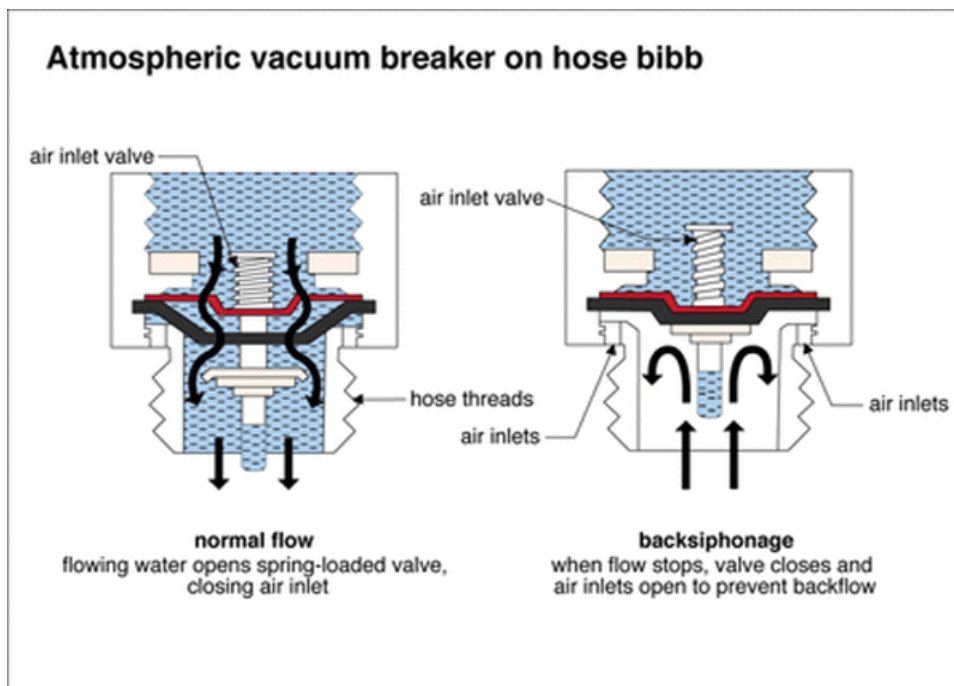
**Task:** Improve

#### FIXTURES AND FAUCETS \ Hose bib or bibb

**45. Condition:** • The exterior hose bib is not an anti-siphon type bib.

**Implication:** Anti-siphon device serves to prevent chemicals from getting into the house water supply when mixing chemicals for exterior landscaping.

**Task:** It is recommended that an anti-siphon device be added to the hose bib(s) either now or when you have a plumber do any other work around the house.



#### FIXTURES AND FAUCETS \ Basin, sink and laundry tub

**46. Condition:** • [Overflows missing, leak, rust or inappropriate](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Basement Hallway Bathroom

**Task:** Monitor

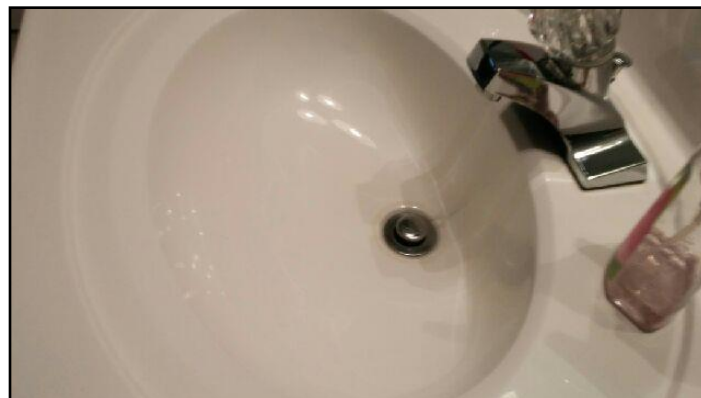
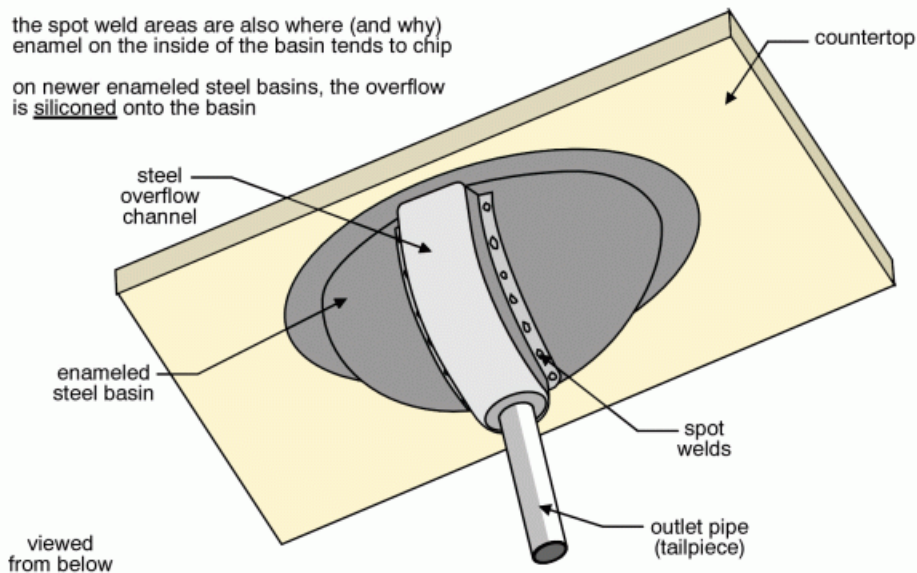
## Rusting overflow

rust starts to develop where the overflow is spot welded to the basin

the rust can spread and ultimately eat through the basin (or overflow) causing leakage

the spot weld areas are also where (and why) enamel on the inside of the basin tends to chip

on newer enameled steel basins, the overflow is siliconed onto the basin



**47. Condition:** • Drain stop ineffective

**Implication(s):** Nuisance | Reduced operability

**Location:** First Floor Half Bathroom

**Task:** Improve

**48. Condition:** • Drain stop ineffective

**Implication(s):** Nuisance | Reduced operability

**Location:** Master Bathroom

**Task:** Improve



## **FIXTURES AND FAUCETS \ Bathtub**

**49. Condition:** • Drain stop missing

**Implication(s):** Reduced operability

**Location:** Basement Hallway Bathroom

**Task:** Provide

## **FIXTURES AND FAUCETS \ Bathtub enclosure**

**50. Condition:** • Inspection of the bathroom revealed that the tub spout is missing caulking.

**Implication:** Missing caulking in this area can cause leakage behind wall.

**Task:** I advise that caulking be provided as required.

**Location:** Basement Hallway Bathroom

**51. Condition:** • Inspection of the bathroom revealed that the tub spout is missing caulking.

**Implication:** Missing caulking in this area can cause leakage behind wall.

**Task:** I advise that caulking be provided as required.

**Location:** Second Floor Hallway Bathroom

**52. Condition:** • The protective flange, known as an escutcheon, is not properly sealed or caulk at the shower tub assembly.

**Implication:** If allowed to remain as is, this could allow water to enter the wall and cause hidden decay.

**Task:** I advise that the flange be caulked. This is a simple maintenance repair.

**Location:** Second Floor Hallway Bathroom

**53. Condition:** • The protective flange, known as an escutcheon, is not properly sealed or caulk at the shower tub assembly.

**Implication:** If allowed to remain as is, this could allow water to enter the wall and cause hidden decay.

**Task:** I advise that the flange be caulked. This is a simple maintenance repair.

**Location:** Basement Hallway Bathroom



# PLUMBING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



## FIXTURES AND FAUCETS \ Shower stall enclosure

**54. Condition:** • keeps the doors place.

**Implication(s):** Personal injury

**Location:** First Floor Half Bathroom

**Task:** Repair or replace



**55. Condition:** • The protective flange, known as an escutcheon, is not properly sealed or caulk at the shower stall assembly.

**Implication:** If allowed to remain as is, this could allow water to enter the wall and cause hidden decay.

**Task:** I advise that the flange be caulked. This is a simple maintenance repair.

**Location:** First Floor Master Bathroom

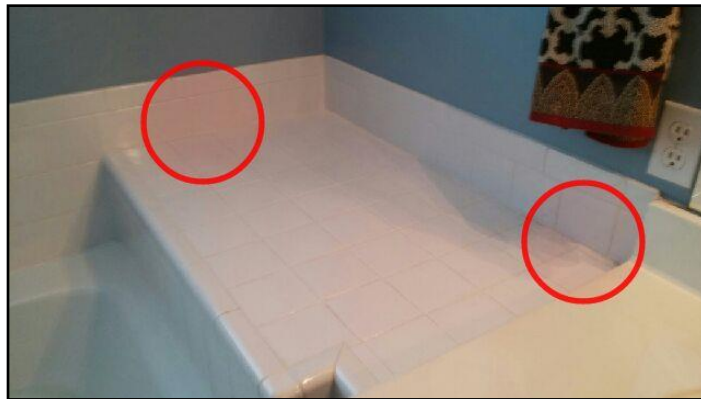


## FIXTURES AND FAUCETS \ Whirlpool bath (Hydro-Massage Therapy Equipment)

**56. Condition:** • Gaps noted on the tile wall.

**Location:** First Floor Master Bathroom

**Task:** Seal or caulk this area



## FIXTURES AND FAUCETS \ Toilet

**57. Condition:** • [Loose](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Sewage entering the building

**Location:** First Floor Master Bathroom

# PLUMBING

4706 Hockaday Place, Columbia, MO March 30, 2017

Report No. 1316, v.0

[www.columbiahomeinspectioncompany.com](http://www.columbiahomeinspectioncompany.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

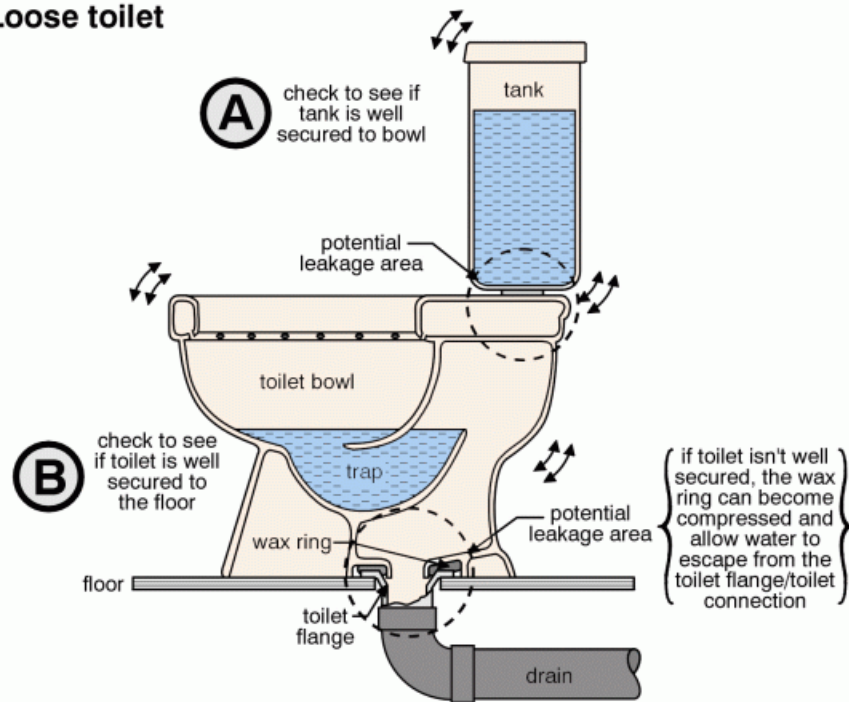
INSULATION

PLUMBING

INTERIOR

REFERENCE

## Loose toilet



## GAS SUPPLY \ Gas piping

**58. Condition:** • Piping not properly bonded

**Implication(s):** Fire or explosion

**Location:** Basement Utility Room

**Task:** Provide

## Description

**Major floor finishes:** • [Carpet](#) • [Hardwood](#) • [Ceramic](#)

**Major wall and ceiling finishes:** • [Gypsum board](#)

**Windows:** • Single hung

**Glazing:** • [Double](#)

**Exterior doors - type/material:** • [Sliding glass](#) • [Metal](#)

**Doors:** • Inspected

**Evidence of basement leakage:** • Trough at wall/floor intersection

**Oven fuel:** • Electricity

**Range fuel:** • Electricity

**Appliances:** • Range hood • Dishwasher • Door bell

**Laundry facilities:** • Laundry tub • Dryer • Vented to outside • 240-Volt outlet • Waste standpipe

**Kitchen ventilation:** • Recirculating type

**Bathroom ventilation:** • Exhaust fan

**Counters and cabinets:** • Inspected

**Inventory Garbage disposal:** • Badger

**Inventory Dishwasher:** • GE

**Inventory Furnace:** • Carrier

**Inventory Garage Door Opener:** • Lift Master Professional

**Inventory Range:** • GE Profile

**Inventory Refrigerator:** • Frigidaire

## Recommendations

### DOORS \ Doors and frames

**59. Condition:** • Door rubs against the door frame.

**Location:** Second Floor Bedroom

**Task:** Improve

**60. Condition:** • The interior doors of this house lack door stoppers or hinge pins.

Implication: Unless a door swing is shielded by a hinge mounted door stopper or a mop board door stopper, there is a potential for the door knob to strike the wall and cause a hole in the drywall or plaster.

Task: Install door stoppers or hinge pins where missing.

**Location:** Lonely some

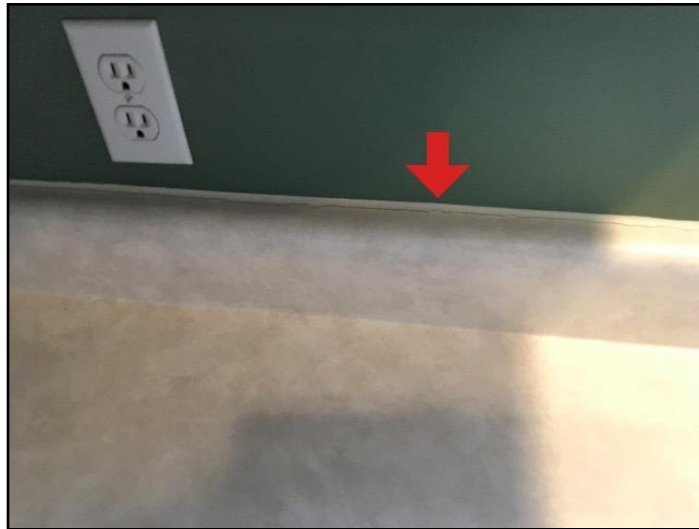
### CARPENTRY \ Countertops

**61. Condition:** • Gaps on counter top.

Implication: Gaps on counter top and or back splash will allow the accumulation of dirt and will allow leakage when the counter is cleaned.



Task: Seal or caulk the gap as required.



## **EXHAUST FANS \ Exhaust duct**

**62. Condition:** • At time of inspection, I was unable to determine where the bathroom exhaust fan discharges.

**Implication:** Bathroom exhaust fans should not discharge into attics, ceiling, wall cavities or crawl spaces. Exhaust fans should discharge outside to prevent moisture problems within the home. The fan discharge location is undetermined.

**Task:** This should be investigated. When found it should be directed to the exterior.

## **BASEMENT \ Wet basement - evidence**

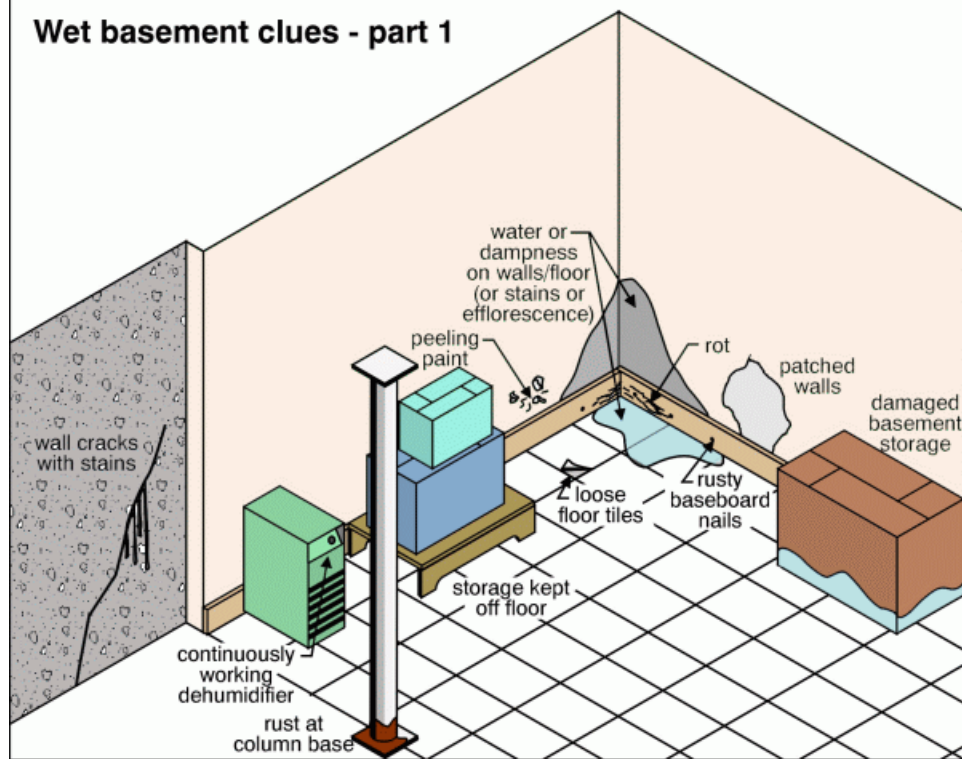
**63. Condition:** • [Water on floor](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

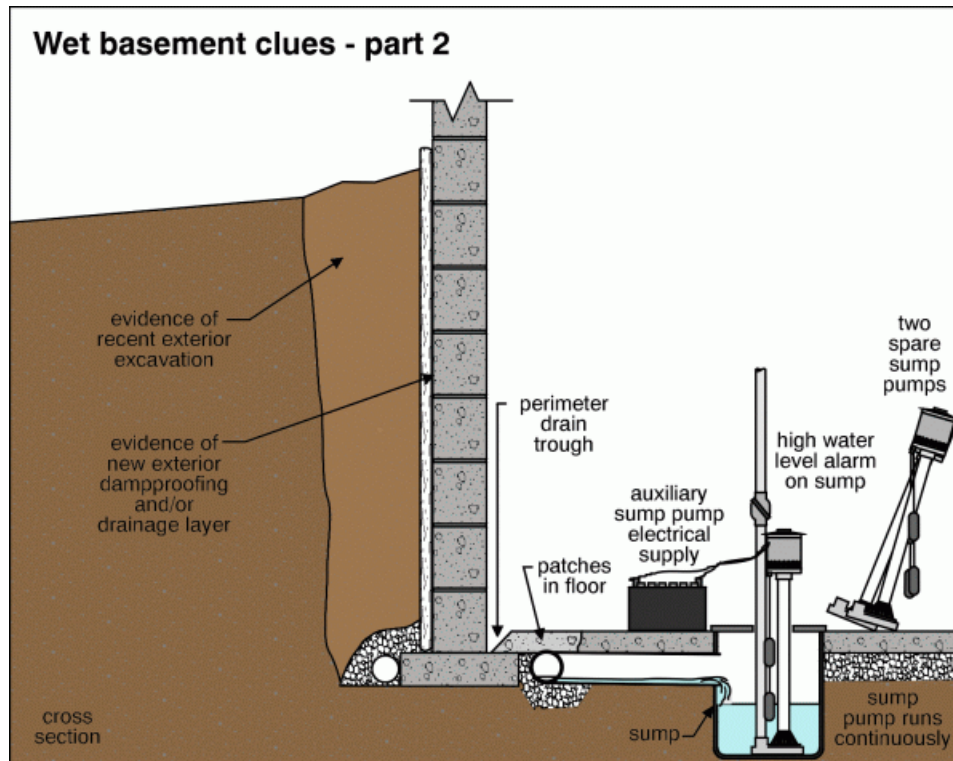
**Location:** Basement Utility Room

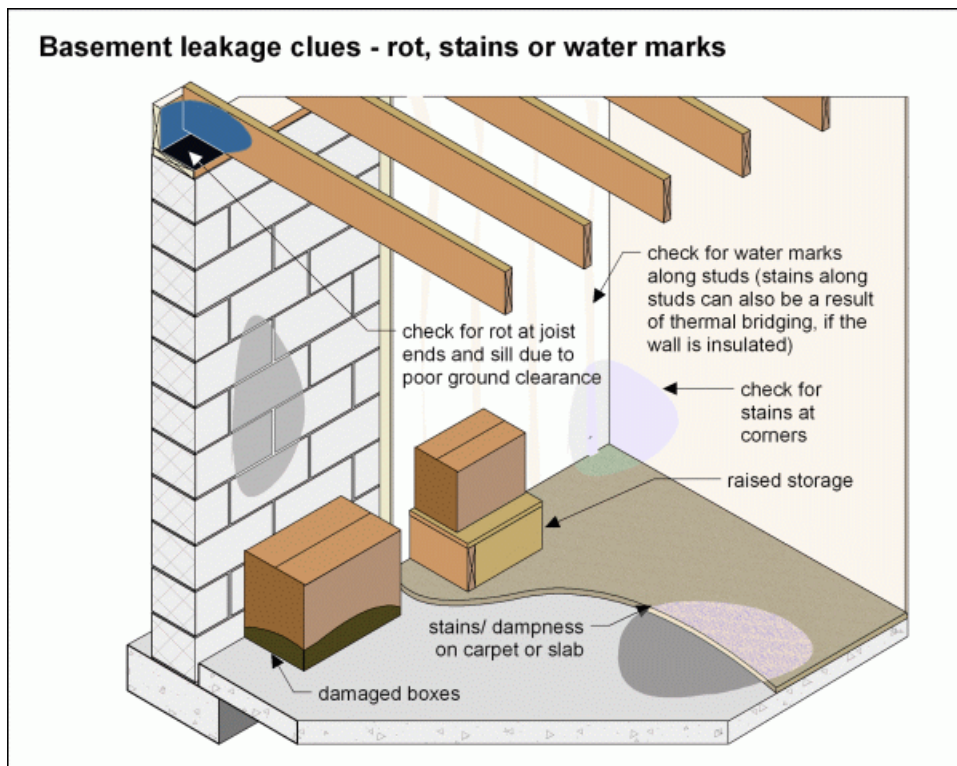
**Task:** Further investigation needed/Repair

## Wet basement clues - part 1



## Wet basement clues - part 2





## GARAGE \ Floor

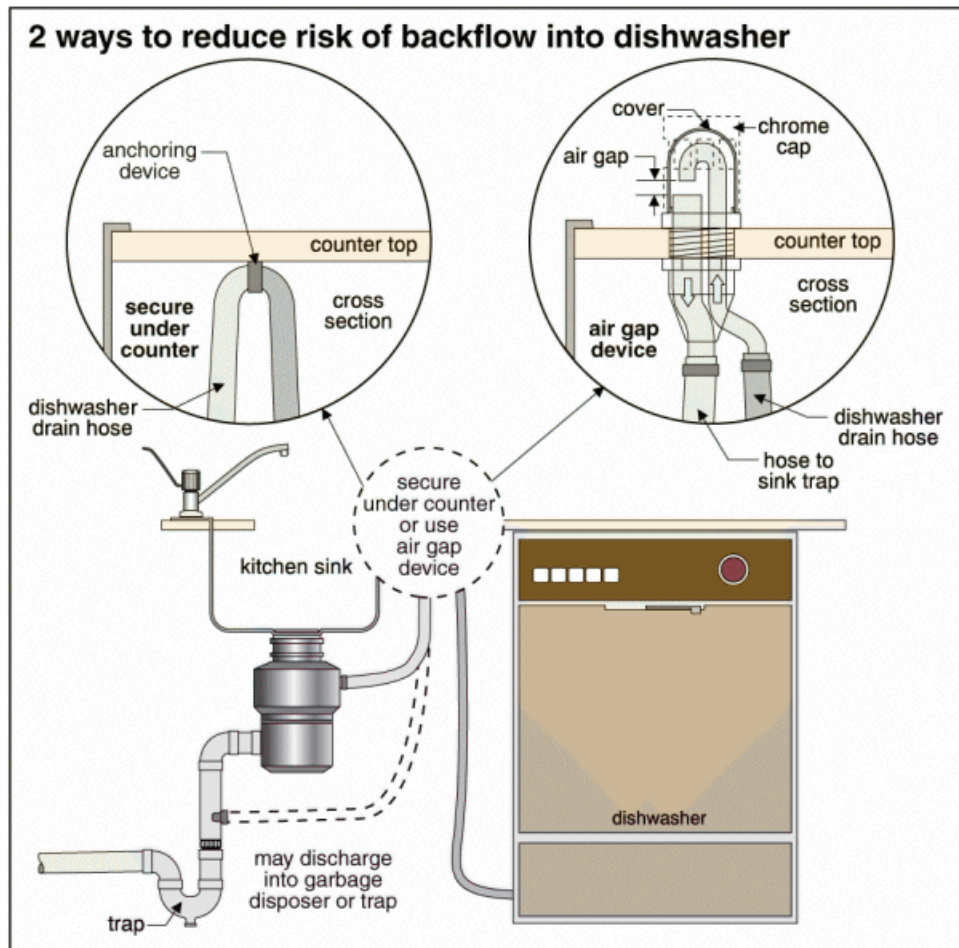
**64. Condition:** • Floor revealed thin hairline shrinkage type cracks.

Implication: Such cracks are common with concrete floors and generally pose no major problem in terms of reduction in load bearing capacity. The introduction of excessive water during the mixing or pouring of the concrete causes the shrinkage cracks. Shrinkage cracks should be sealed to prevent water infiltration, radon gas entry and possible wood boring insect access.

Task: You can seal the cracks yourself with a hydraulic cement product or suitable caulk. Once repaired, the cracks should be monitored for unpredictable future movement.

**65. Condition:** • [No drain](#)**Implication(s):** Chance of water entering building**Task:** Monitor**GARAGE \ Vehicle doors****66. Condition:** • The weather-stripping on the bottom edge of the overhead door does not appear to form a water resistant seal against the floor.**Implication:** This condition may allow wind driven rain to enter the garage.**Task:** Maintenance repair or replacement of the weatherstripping is advised at minimal expense.**APPLIANCES \ Range****67. Condition:** • Anti-tip device missing**Implication(s):** Physical injury**Location:** Kitchen**Task:** Provide**APPLIANCES \ Dishwasher****68. Condition:** • An air gap is missing. This is installed in the rubber, plastic or copper drain hose running from the dishwasher to the stub out connection on the drain pipe under the kitchen sink.**Implication:** The purpose of the air gap is to prevent back siphonage if the sink drain becomes clogged.**Task:** If there is enough slack in the drain hose, an air gap can easily be created by elevating the hose beneath the countertop creating an upside down "U". A simple pipe clamp can be installed to hold the air gap at an elevation higher than the drain connection it empties into.





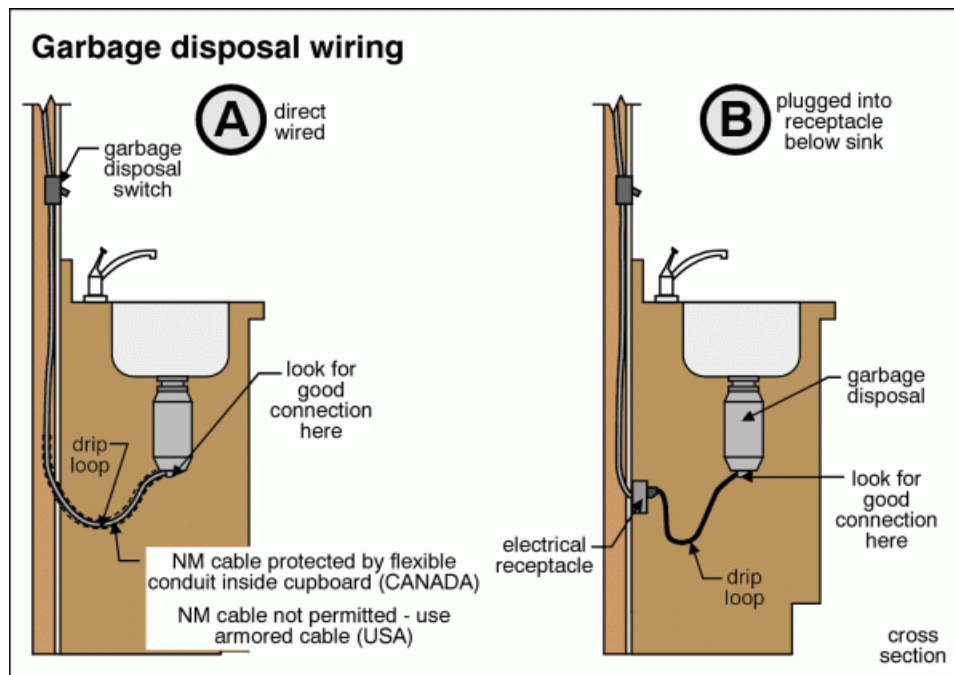
## APPLIANCES \ Waste disposal

**69. Condition:** • The garbage disposer wiring is not equipped with a armor cable or BX cable.

Implication: Due to the fact that homeowners often fill this area with detergents and other things the cable could be damaged.

Task: To protect the homeowners from damaging the wire and from electrocution we recommend that BX cable or armored cable be installed on the wiring for safety.

**Location:** Right Kitchen



**70. Condition:** • Inoperative

**Implication(s):** Equipment inoperative

**Location:** First Floor Kitchen

**Task:** Repair or replace

## APPLIANCES \ Washing machine

**71. Condition:** • [Missing washing machine drain pan was noted.](#)

Implication: A burst washer hose can spill gallons and gallons of water per hour if its not detected right away, and water damage from a washing machine can be very expensive to repair. In just a few moments, a leaking washing machine can cause thousands of dollars of damage.

Task: We recommend that you install one as soon as possible.

**Location:** First Floor Laundry Area

**END OF REPORT**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS